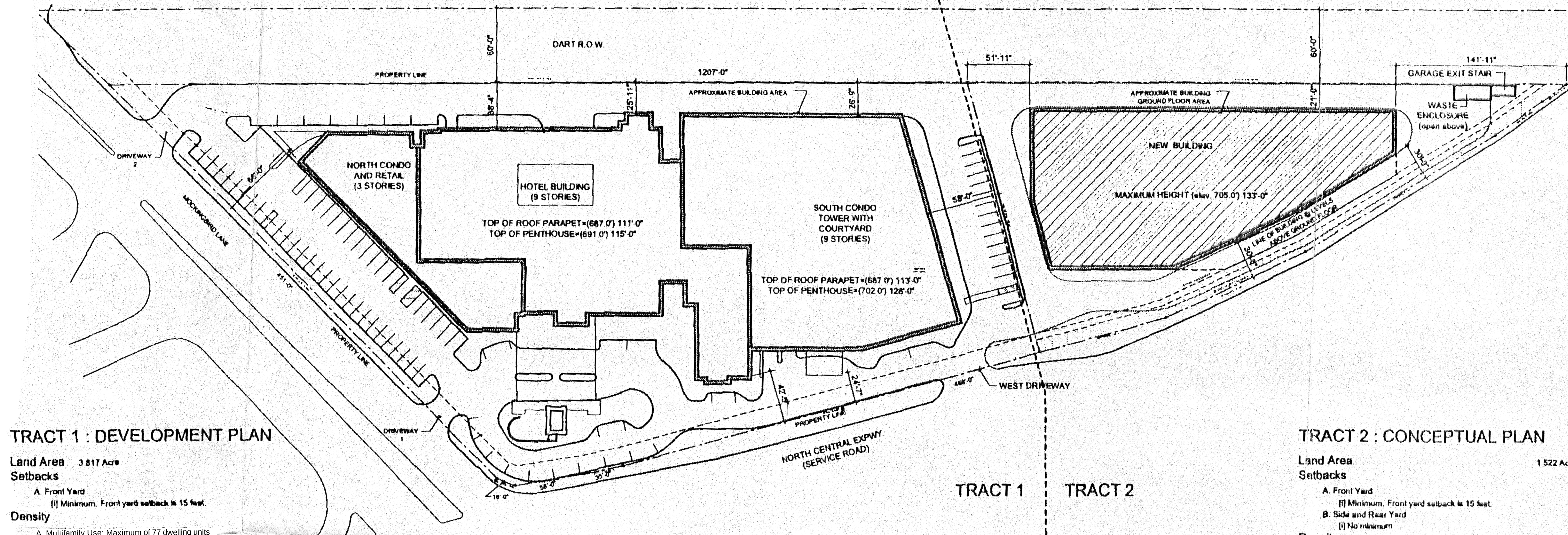




TRACT 1 : DEVELOPMENT PLAN

Land Area 3.817 Acres

Setbacks

- A. Front Yard
 (i) Minimum. Front yard setback is 15 feet.

Density

- A. Multifamily Use: Maximum of 77 dwelling units
 B. Hotel use: Maximum of 208 guest rooms

Floor Area

- A. Meeting area for a Hotel: 8,810 square feet
 B. Restaurant without drive-in or drive through service as a main use: 8,300 square feet
 C. Restaurant without drive-in or drive through service as an accessory use to a hotel: 7,500 square feet
 D. Spa: 9,300 square feet
 E. All other retail and personal service uses: 9,000 square feet

Height

- A. Existing Hotel Building
 (i) Top of Roof Parapet (Near East Property Line) (687.0') 111'-0"
 (ii) Top of Penthouse Roof (691.0') 115'-0"
 B. New South Condo Tower
 (i) Top of Roof Parapet (Near East property Line) (687.0') 113'-0"
 (ii) Top of Penthouse Roof (702.0') 128'-0"
 C. New North Condo and Retail (619.0') 43'-0"

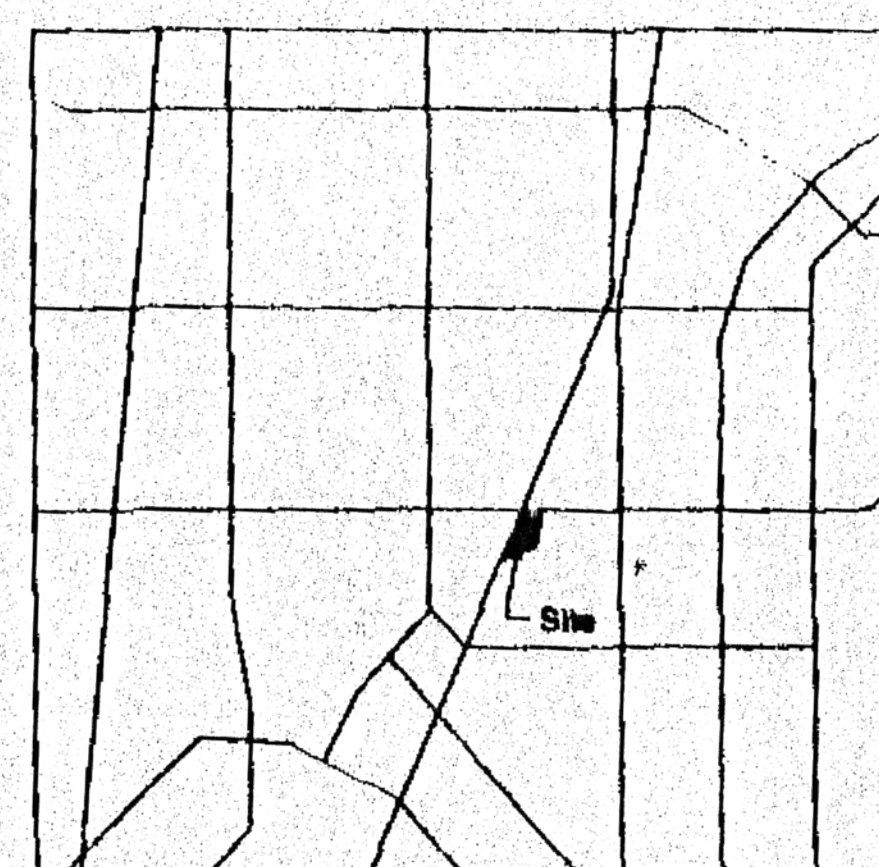
Stories

- A. New North Condo and Retail No Maximum
 B. Existing Hotel Building No Maximum
 C. New South Condo Tower No Maximum

Lot Coverage

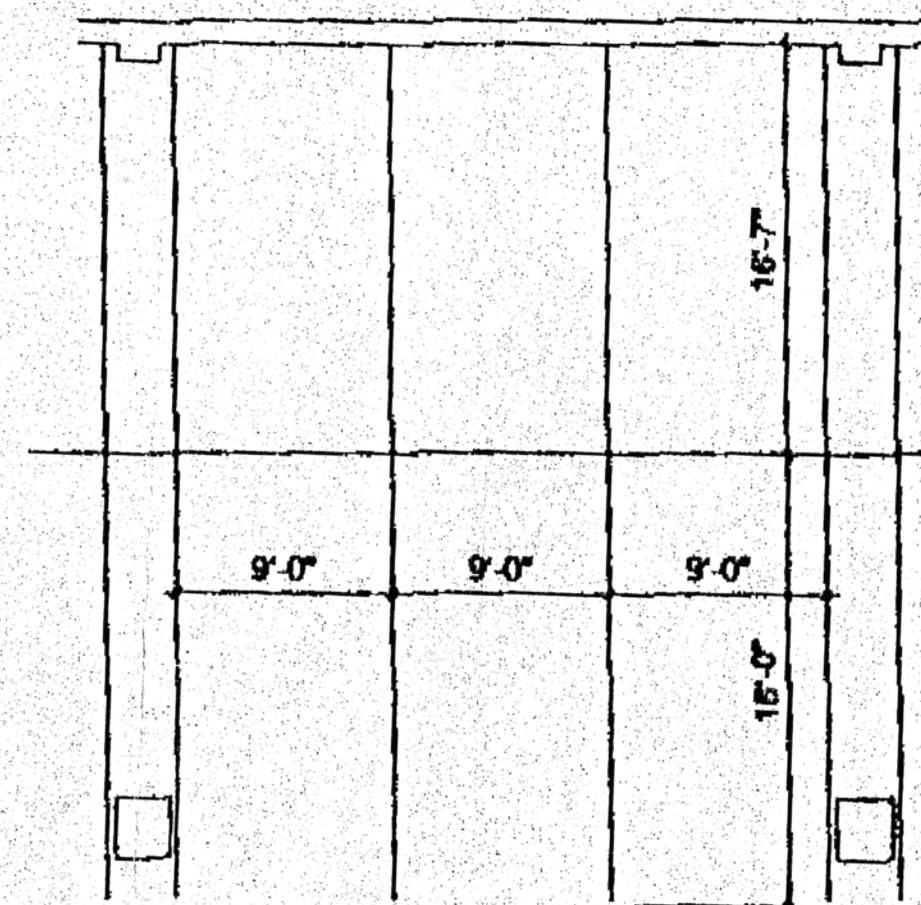
Off Street Parking

- Required. 500 Spaces
 Provided. 508 Spaces



VICINITY MAP

Not To Scale



TYPICAL PACKED PARKING

Scale: 1/8" = 1'-0"

Tract 1 Development / Tract 2 Conceptual Plan

Scale: 1" = 40'-0"

TRACT 2 : CONCEPTUAL PLAN

Land Area 1.522 Acres

Setbacks

- A. Front Yard
 (i) Minimum. Front yard setback is 15 feet.
 B. Side and Rear Yard
 (i) No minimum

Density

- Multifamily use: Maximum of 200,000 GSF
 Office use: Maximum of 200,000 GSF

Floor Area

- Residential & Non-residential uses: Maximum of 200,000 square feet.

Height

- A. New Office or Condominium Tower
 (ii) Maximum Structure Height (706.0') 133'-0"

Stories

- Maximum 2 stories of parking above grade. No maximum for building.

Lot Coverage

- 90%

Off Street Parking

- Per use per Dallas Development Code